

PERMIT No. A006305

FEE \$ 10.50 RECEIPT No. 2971 DATE 17.7.67.

VALUATION Roll No. 90/353/ DATE ISSUED 17. 7. 67

RIDING

MATAKANA

RODNEY COUNTY COUNCIL

P.O. BOX 3 – WARKWORTH

Application for a Building Permit

OWNER OF SECTION. NAME K. RAMSDEN. PHONE No. 487.0
(BLOCK CAPITALS)

PRESENT POSTAL ADDRESS P.O. Box 40. WARKWORTH.

BUILDER. NAME AS. ABOVE. PHONE No. 487.0

POSTAL ADDRESS
(Note: Permit will be posted to builder unless otherwise requested).

INTENDED USAGE OF BUILDING AMENITIES BUILDING.

VALUE OF WORK \$ 2500 FEE \$ 10.50 : (See back page).

FULL LEGAL DESCRIPTION OF SECTION (as appears on either rate demand or title deeds).
PT. ALLOT. 23 MAHURANGI PARISH C.T. 878. Folio 220 Nth. AUCKLAND Registry -
BLK VII
NAME OF PREVIOUS OWNER OF SECTION M. WALKER.

AREA OF SECTION 12 ACRES. Acre(s). Frontage 400 FEET. Feet.

ROAD NAME SANDSPIT. LOCALITY WARKWORTH.

SIGNATURE OF APPLICANT Ramsden. DATE 11. 7. 67.

FOR OFFICE USE ONLY

Footpath-Deposit	Refund
Fee / /	Amount / /
Recpt.	To
Paid by	Date
Date	

Permit issued subject to the following conditions:—

APPROVED BY BUILDING INSPECTOR DATE

SPECIFICATION FORM TO BE USED
FOR OUTBUILDINGS AND SMALL
ADDITIONS TO DWELLINGS ONLY.
ALL OTHER BUILDING WORK RE-
QUIRES FULL DETAILED SPECIFICA-
TIONS INCLUDING ALL SUB-TRADES.

SPECIFICATION

FILL IN WHERE APPLICABLE

FOUNDATION

(a) Footing: Width 15" x depth 9" & 12"
Built of CONCRETE Reinforced by 4 - 1/2" RODS 1/4" STIRRAUS

(b) Dwarf Walls: Width Maximum height
Reinforcing (All concrete walls over 3' high must be reinforced).

(c) Piles: (concrete — give dimensions and type)

Piles Spacing:
Precast piles may be used provided they are placed in concrete not less than 2" greater in each dimension than the base of the pile and not less than 4" deep before such concrete has set.

Dampcourse (between concrete, stone, brick and timber)

Fastening between concrete etc. and timber i.e. bolts or wire

TIMBER SCHEDULE

	Size	Grade	Type of Timber and Treatment
Jack Studs:	<u> </u>	<u> </u>	<u> </u>
Bearers or Stringer:	<u> </u>	<u> </u>	<u> </u>
Floor Joists:	<u> </u>	<u> </u>	<u> </u>
Bottom Plates (external):	<u> </u>	<u> </u>	<u> </u>
Bottom Plates (internal):	<u> </u>	<u> </u>	<u> </u>
Top Plates (external):	<u> </u>	<u> </u>	<u> </u>
Top Plates (internal):	<u> </u>	<u> </u>	<u> </u>
Wall Studding:	<u> </u>	<u> </u>	<u> </u>
Dwangs (noggin):	<u> </u>	<u> </u>	<u> </u>
Ceiling Joists:	<u> </u>	<u> </u>	<u> </u>
Ceiling Runners:	<u> </u>	<u> </u>	<u> </u>
Rafter:	<u>6x2</u>	<u> </u>	<u> </u>
Under purlins:	<u>4x2</u>	<u> </u>	<u> </u>
Roof Struts:	<u> </u>	<u> </u>	<u> </u>
Collar Ties:	<u> </u>	<u> </u>	<u> </u>
Ridge Board:	<u> </u>	<u> </u>	<u> </u>
Purlins:	<u> </u>	<u> </u>	<u> </u>
Door Lintels:	<u> </u>	<u> </u>	<u> </u>
Window Heads:	<u> </u>	<u> </u>	<u> </u>
Fascia Boards:	<u> </u>	<u> </u>	<u> </u>
Flooring:	<u> </u>	<u> </u>	<u> </u>
Roofing: Wire Netting	<u>YES</u>	<u> </u>	<u> </u>
Building Paper:	<u>YES</u>	<u> </u>	<u> </u>
Roofing Material:	<u>GALV. IRON</u>	<u> </u>	<u> </u>
Exterior Wall Sheathing:	<u>CONCRETE BLOCK</u>	<u> </u>	<u> </u>
Interior Wall Lining:	<u>"</u>	<u>"</u>	<u> </u>
Height of flooring above ground (where applicable):	<u> </u>	<u> </u>	<u> </u>

SITE PLAN

RESIDENTIAL SECTIONS

The site plan must be accurately drawn to the scale provided (16 feet to 1 inch).

ALL OTHER SECTIONS

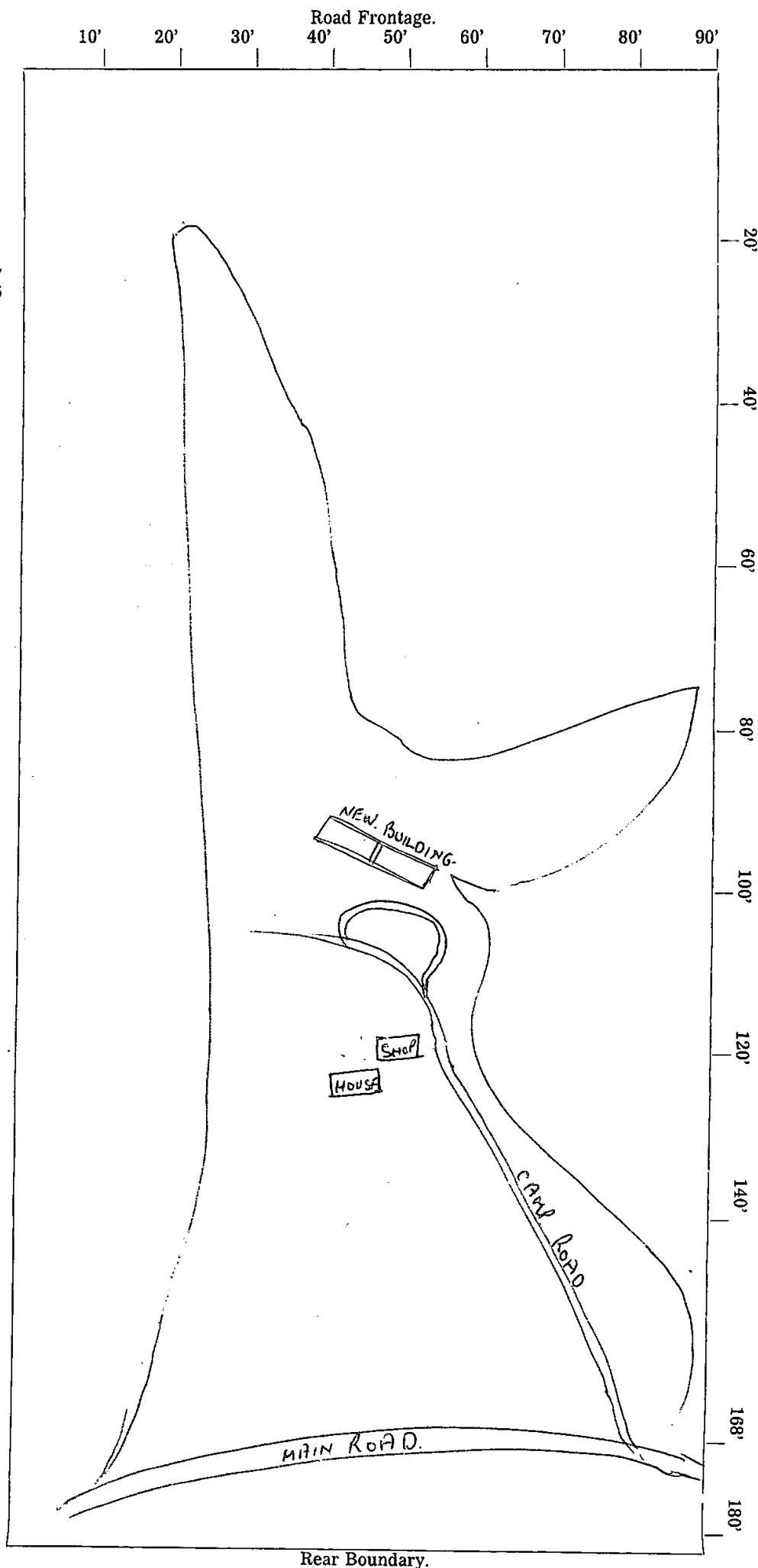
(including farms, etc.)

Please state scale used.

Note

1. This site plan must show the desired position of the proposed building and also ALL existing buildings.
2. Distances of each building from boundary lines must be clearly indicated.
3. No building shall be erected closer than 4 feet to a side boundary. This measurement is from the fascia board in the case of an overhanging roof.
4. Separate plans, drawn to scale (preferably $\frac{1}{4}"$ or $\frac{1}{2}"$ to 1'), must be submitted, showing a ground plan, and elevations of two sides. In cases of extensions to existing buildings, these plans should show the whole building, and the extensions should be shaded or coloured.
5. Applications must be made in duplicate and two copies of the plan must be supplied.
6. A notice bearing the owner's name and lot number must be erected in a prominent position on the section.

PENCIL DRAWINGS WILL
NOT BE ACCEPTED.



Rear Boundary.

SCALE OF FEES FOR BUILDING PERMITS

For Alterations or Additions or a Building of a value exceeding	\$20 but not exceeding	\$200	\$1.00
" " " " " " " a value exceeding	\$200 but not exceeding	\$400	\$2.00
" " " " " " " a value exceeding	\$400 but not exceeding	\$600	\$3.00
" " " " " " " a value exceeding	\$600 but not exceeding	\$800	\$4.00
" " " " " " " a value exceeding	\$800 but not exceeding	\$1000	\$5.00
" " " " " " " a value exceeding	\$1000 but not exceeding	\$1200	\$6.00
" " " " " " " a value exceeding	\$1200 but not exceeding	\$1400	\$7.00
" " " " " " " a value exceeding	\$1400 but not exceeding	\$1600	\$7.50
" " " " " " " a value exceeding	\$1600 but not exceeding	\$1800	\$8.50
" " " " " " " a value exceeding	\$1800 but not exceeding	\$2000	\$9.00
" " " " " " " a value exceeding	\$2000 but not exceeding	\$2500	\$10.50
" " " " " " " a value exceeding	\$2500 but not exceeding	\$3000	\$12.00
" " " " " " " a value exceeding	\$3000 but not exceeding	\$3500	\$13.50
" " " " " " " a value exceeding	\$3500 but not exceeding	\$4000	\$15.00
" " " " " " " a value exceeding	\$4000 but not exceeding	\$5000	\$18.00
" " " " " " " a value exceeding	\$5000 but not exceeding	\$6000	\$21.00
" " " " " " " a value exceeding	\$6000 but not exceeding	\$7000	\$24.00
" " " " " " " a value exceeding	\$7000 but not exceeding	\$8000	\$27.00
" " " " " " " a value exceeding	\$8000 but not exceeding	\$9000	\$30.00
" " " " " " " a value exceeding	\$9000 but not exceeding	\$10,000	\$33.00
" " " " " " " a value exceeding	\$10,000 but not exceeding	\$12,000	\$37.50
" " " " " " " a value exceeding	\$12,000 but not exceeding	\$14,000	\$42.00
" " " " " " " a value exceeding	\$14,000 but not exceeding	\$16,000	\$46.50
" " " " " " " a value exceeding	\$16,000 but not exceeding	\$18,000	\$51.00
" " " " " " " a value exceeding	\$18,000 but not exceeding	\$20,000	\$55.50

That Farm Buildings as Manure Sheds and Hay Sheds on areas over ten acres and up to ~~one~~ in value be exempted, from permit fees, but does not include garages, such garages to be charged schedule fees. \$1000

That price for copies of By-Laws be the published price.

TEMPORARY HOUSING

Council permits temporary housing to be occupied whilst a permanent residence is being built on the same site, in cases where the applicant is able to satisfy Council that he can erect the permanent house within 12 months. This can only be done by written application to Council.

CROSSINGS

No person shall commence building or take any vehicle on to any property without first making a vehicle crossing to the satisfaction of the Rodney County Council.

- 1.—Where there is no kerb and channel or footpath 9" reinforced concrete pipes shall be laid to a line and level approved by Council.
- 2.—Where an unreinforced footpath exists the area to be used as a crossing shall be removed and replaced with reinforced concrete to the Council's standards.
- 3.—Where reinforced footpaths exist "Takapuna" type crossings to Council's standards may be permitted. The cost of the work in each case must be borne by the owner.
The work involved in footpath crossings will be arranged by the Council after all charges have been paid.

FOOTPATH DEPOSITS

The Council by resolution of 21st June, 1959, requires a deposit of £25.0.0 to be made with every building permit application, as an indemnity against damage to:—

(a) Footpaths,

(b) Footpath formation—or

(c) Roadside drains

caused, either by the builder, or by any other person engaged in the construction of any building on the owner's property. This deposit will be retained and applied to the cost of any such damages if not made good by the builder or owner. Should no repairs be necessary, the £25 will be refunded in full on completion of all building construction work.

GENERAL

Please note well:

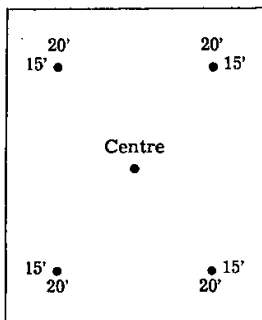
1. Get a permit before you start work! A receipt for your fee does not give you any right to start the job
2. All sanitary plumbing and drainage must be done by registered tradesmen.

PLUMBING AND DRAINAGE APPLICATIONS

Plumbing and Drainage permit application must accompany Application for Building Permit. Should these not be included, Building Permit will not be issued, and application will be returned to sender together with Plumbing and Drainage forms for completion.

A proper plumbing and drainage system must be provided and installed by registered tradesmen.

N.B.—You commit an offence if you do any sanitary plumbing or drainage yourself!!



20ft. from rear and front.
15ft. from sides.

As drainage in some areas is poor it is requisite that soakage tests be taken on each individual section. In order that the Health Inspector can carry out these tests the owner is required to provide 5 test holes not less than 4" diameter to a depth of 6'. These must be located in approximately the positions indicated on the diagram. The owner must also provide a minimum of 30 gallons of water on the site. Under dry conditions it may be necessary to increase the amount of water required.

Section owners are advised to arrange for soakage tests before proceeding with plans etc.

C. T. CHATTERTON,

County Inspector

Summary of Rodney County Council Building By-Laws

With so many "amateur" builders in the County a good many buildings are erected which do not completely comply with the By-laws. It is considered by this Council that most of the troubles arises, not from any intention to evade the By-laws, but merely through lack of knowledge on the subject.

Therefore the following comments are made with a view to helping those who are quite possibly undertaking their first building job:

Regard the Building and Health Inspectors as your Technical Advisors — who would very much rather help you to avoid mistakes than take you to Court for having made them. Don't guess — ask your inspectors.

CONSTRUCTION

PRINCIPAL CONSTRUCTION DETAILS APPLICABLE TO BOTH PERMANENTLY OCCUPIED RESIDENTIAL HOUSES AND BACHES (HOLIDAY HOUSES)

Please carefully note that the standard of construction is precisely the same for baches as for permanent houses:

- (a) Foundation blocks are to be not less than 18" x 8" x 8" (remember the malthoid damp-proof course!).
- (b) Jack studs to be 4" x 3" at 4'6" centres.
- (c) Sleeper plates to be 4" x 3."
- (d) Floor joists to be 6" x 2" at 18" centres. Span not more than 8'0".
- (e) Minimum stud height 8' average.
- (f) Studs — Outside 4" x 2" at 18" centres.
Non-bearing — Inside 3" x 2" at 18" centres.
Bearing Studs — Inside 4" x 2" at 18" centres.
- (g) Three rows noggins.
- (h) Ceiling joists (in traditional construction to be 4" x 2" at 20" centres.
- (i) Rafters 3'0" centres for iron or aluminium.
20" centres for tile — flat roofs or sloping roofs must have 6" x 2" rafters.
- (j) As the set back from boundaries varies in different areas, it is essential that **approval of siting is obtained before any building work is commenced.**
- (k) If pine is used below floor level it must be treated. Treatment optional but pressure methods are recommended.

SETTING OF FOUNDATIONS

Where the ground-level is such that at more than one corner the bottom plate is more than 4 feet above ground, continuous concrete foundation walls, suitably reinforced, shall be provided extending from each of such corners for a distance of not less than 4 feet 6 inches along each adjacent wall.

The minimum reinforcement shall be two rods each half-inch diameter carried right round the concrete corner panels within two inches of the top, bottom, and ends, in addition, connected vertically at the corner by two half-inch rods hooked over the top and bottom rods. Concrete walls to be 5 inches thick.

ROOMS

- (a) Bedrooms must be at least 100 sq. ft. double or 63 sq. ft. single. Every house must have at least one double bedroom.
- (b) Kitchen not less than 40 sq. ft. minimum width 4'6".
- (c) Living room not less than 150 sq. ft. (the living room and kitchen may be combined if desired, minimum 190 sq. ft.). Some form of heating facilities must be provided.
- (d) Bathroom must be provided containing a hand basin and either a bath or shower. Must be on an outside wall unless permission for other approved arrangement is obtained from County Health Inspector.
- (e) Flush water closet: This may be inside the house usually on an outside wall. Other arrangements may be permitted providing location and ventilation of compartment is approved by County Health Inspector.
- (f) Laundry facilities must be provided.
- (g) Window space for every room must be provided. Minimum space is 10% of the floor area, and half the window must be able to open.
- (h) "Water supply": If rainwater is used solely for supply then storage capacity shall be sufficient to ensure a 30 day supply of not less than 20 gallons per person per day. This may be reduced to 15 gallons per head per day if no water closet provided. In no case shall the storage capacity be less than 1000 gallons.

If a bore is contemplated it is recommended that the water be tested for purity by a private analyst. Seepage from septic tanks render shallow bores doubtful in some areas.

Adequate means of heating water to be provided. Hot water to be piped to bath/shower, sink and to a convenient position for washing clothes. Cold water must be piped to all sanitary fittings.